

4641

D-4677



পশ্চিমবঙ্গ পশ্চিম বঙ্গ WEST BENGAL

U 916577

Monev K Buruwal
 Dibakar Jadar
 Subrata Maji
 Sobasis Misra

Certified that the Document is
 admitted to registration. The
 endorsement sheet attached
 with this document are the Par
 of this document.

Asst. District Sub-Registrar
 Asansol, Dist - Paschim Bardhaman

GRN No. 192022230019805661 20 MAY 2022

Query No.2001273774/2022

Agreement for Development and Construction of the Property

A.D.S.R. Asansol.

THIS AGREEMENT FOR DEVELOPMENT AND CONSTRUCTION OF PROPERTY IS

MADE,

BY AND BETWEEN

23/7

Manoj K Burnwal
Dibakar Patar
Subrata Maji
Debasis Misra

SRI. MANOJ KUMAR BURNWAL (PAN No. ADDPB4166C), aged about 55 years son of SHRI, HARI NARAYAN BURNWAL, Citizen of India, by faith Hindu, by occupation business, resident of 57/A SAMIRAN ROY ROAD, ASANSOL, Post Asansol 713301, Police station Asansol (south), Sub division and Additional District Sub Registry office Asansol, District Paschim Bardhaman, hereinafter called and referred to as the FIRST PARTY/OWNER (Which expression unless repugnant to the context shall mean and include their heirs, successors, assigns and legal representatives) of the ONE PART.

AND

M/s. SHREE SUMUKHA DEVELOPERS LLP (PAN No. AENFS 4565 D), a Limited Liability Partnership under the Limited Liability Partnership Act 2008, having its Registered Office at Holding No. 207(N), Sudihi Village, Post Office Ethora, Asansol, Bardhaman, west Bengal 713359 represented by its Partners, namely:-

1. **MR. DIBAKAR PATAR (PAN No. BMHPP 0225 J)** son of Mr. Umapada Patar, Citizen of India, by faith Hindu, by occupation Business, resident of Dakhin Para, Suidhi, Post Office Ethora, Asansol 713359, District Paschim Bardhaman
2. **MR. SUBRATA MAJI (PAN No. ALJPM 2559 A)** & (Aadhar No. 7546 8495 4160) son of Mr. Santosh Maji, Citizen of India, by faith Muslim, by occupation Business, resident of H-079, Radharani Bhawan, New Colony Gobindapur, Kanyapur, Asansol - 713341, District Paschim Burdwan, and
3. **MR. DEBASIS MISRA (PAN No. AMVPM 4994 N)** & (Aadhar No. 4518 2190 3942) son of Mr. Dulal Chandra Misra, Citizen of India, by faith Hindu, by occupation Business

Manoj Kumar Bhowmik
Dibakar Kumar
Subrata Maji
Abbasin Mishra

resident of Panchgachia, Gandhi Nagar, Kanyapur, Asansol, Bardhaman, West Bengal -
713341.

Hereinafter called and referred to as the SECOND PARTY / DEVELOPERS (which expression unless repugnant to the context shall mean and include their respective heirs, successors-in-interests, assigns and legal representatives) of the OTHER PART.

WHEREAS the homestead land, measuring an area of 6 (six) Cottahs, standing upon portion of C. S. Plot No. 30, bearing L. O. P. No. 108 of the Relief & Rehabilitation Department of the Government of West Bengal, was leased unto Gourang Chandra Saha son of Banku Behari Saha as an Allotee, as a displaced person/refugee from erstwhile East Pakistan (now Bangladesh) by virtue of a Deed of Lease dated 29.09.1975 by the said Department upon which land said Gouranga Chandra Saha built and constructed a R. C. C. Brick Built Single Storied Building in terms of the said lease vide a Building Plan duly sanctioned by the then Asansol Municipality.

That the aforesaid lease was eventually terminated after a period of 15 years by the Government and a Deed of Gift, which stands registered in Book No. 1, Volume No. 1 in Pages 357 to 360 as Being or Deed No. 90 for the year 1988 of the Office of the Additional District Sub Registrar at Asansol executed by the R. R. Department on behalf of the Governor of the State of West Bengal with full transferable rights unto and in favour of above named Gouranga Chandra Saha.

That the aforesaid property and premises, now fully having now collapsed due to age and only an old room measuring a Covered Area of 200 (Two hundred) square feet standing

Dibakrishna
Subrata Maj
Sobasini Misra
Manoj K Burmwal

That after their such inheritance, the above named heirs of Late Gouranga Chandra Saha came to absolutely own and possess part and parcel of their respective undivided shares in the aforesaid property and premises, without any interruption or intervention, free from all manners of encumbrances.

That subsequently, above named Smt. Sovarani Saha along with Smt. Jharn Saha, Smt. Meena Saha and Smt. Reena Saha, collectively conveyed their respective undivided inherited shares in the aforesaid property and premises by a Deed of Gift which stands registered as Being or Deed NO. 0205 - 1443 for the year 2019 of the Additional District Sub Registry Office, Asansol, unto and in favour of their son or brother, namely - Goutam Saha and Uttam Saha,

That subsequently the said **UTTAM SAHA** sold and transferred his specific 03 Katha land duly mutated in his name vide L.R. khatian No.5597, in favour of the above said vendor vide sale deed no. I-3260/2022, executed before the office at Asansol, that is the above named **FIRST PARTY/OWNERS (mentioned in schedule below a. portion).**

That as same one Gour Chandra Saha, S/o. Lt. Braja Kishore Saha acquired the land being L.O.P. No.111 measuring an area of 6 katha situated in Mouza Asansol, P.S. Asansol, Dist. Pashim Bardhaman, from the Governor of the State of West Bengal, at R.R. & R. Department Government of West Bengal by Deed of Gift dated 12/01/1990 before the office of the A.D.S.R. Burdwan at Asansol, on various terms and conditions. In further the said Gour Chandra Saha constructed one residential house upon the said land and property vide building Plan No. 155/dated 04/03/1992. Vide holding No. 30(49), at Saha Para 1 No.



Dibakar Patar
Subrata Maji
Debasis Misra
Manoj K Burnwal

Mohisila Colony, ward No.18(Old) of AMC. In further the said Gour Chandra Saha gifted his property to one Sri, Utpal Kumar Saha, i.e. his son by the virtue of the registered deed of gift vide Deed no. 7882 for the year of 2013 of A.D.S.R. Asansol.

That in further the said Utpal Kumar Saha mutated his name in L.R. R.O.R. vide L.R. khatian no. 4104, being L.R. Plot No.150, under Mouza Asansol, J.L. no.35, under P.S. Asansol, within Dist. Paschim Bardhaman, and in further the said Utpal Kumar Saha sold and transferred his property in the name of the first party namely Manoj Kumar Burnwal, by the virtue of the registered deed of sale vide No. I-3259/2022, executed before the office at Asansol **(mentioned in schedule below b. portion).**

That after their such acquisition, the above named FIRST PARTY/ OWNERS absolutely came to own and possess the entire property mentioned in schedule below upon which they intended to raise and construct a multi-storied building but owing to their being engaged in their other pre-occupations and other personal problems, the above named FIRST PARTY /OWNERS could not undertake development of their said property, fully mentioned in Schedule hereunder written and in consequence thereto have invited offers from prospective Developer/s who are financially sound, having the necessary capability, infrastructure and competence to undertake construction of a residential cum commercial multistoried building and the above named development company namely, M/s Shree Sumukha Developers, represented by its partners, namely, Mr. Dibakar Patar, Mr. Subrata Maji and Mr. Debasis Misra hereinafter called as the SECOND PARTY/DEVELOPERS have/had agreed to their said proposal and offered to undertake the proposed construction of a Ground Plus Five (G + 5) multi-storied building to be constructed and erected all at the



Dibakar Das
Subrata Maji
Sebasin Misra
Manoj K. Bhowal

cost of the said Developers and in this regard, there being no written instruction, the parties, named above, do hereby enter into this Development Agreement, consisting of the terms and conditions of such transaction and further specifying therein the owners allocation to be provided by the said Developers, that are, more fully described below :-

NOW THIS AGREEMENT WITNESSTH:

a) That the FIRST PARTY/OWNERS do hereby admit and accept the SECOND PARTY as the Developers/Promoters in respect of their said property, fully mentioned in Schedule hereunder written, requiring it to erect and construct a (G+5) Ground Plus Five Storied Residential Cum Commercial Building/Apartment or as that may be sanctioned by the Authority of Asansol Municipal Corporation by engaging their own technical and non-technical persons, skilled or un-skilled workers by obtaining and acquiring the following approvals, deeds, document and things, as are mentioned below all at their

Entire Costs And Expenses :

- a) Preparation of Site Plan, Structural Building Plan through a competent and reputed Architect/Engineer.
- b) Sanction of the Site Plan and Building Plan from the Authority of Asansol Municipal Corporation on payment of required fees etc.
- c) To obtain Municipal water connection, if made available by the supplying authority or water well of sufficient depth for supply of water for the proposed building at its/their own costs.

b) That immediately after sanction of the Building Plan from the authority of Asansol Municipal Corporation including clearance and NOC from the concerned authorities, the

Dibakar Prasad
Subrata Maji
Abhishek Sharma
Manoj K. Bhowmik

FIRST PARTY/OWNERS shall deliver free from all charges, liens, mortgages or any encumbrances, the vacant possession of the property mentioned in schedule below unto the SECOND PARTY/DEVELOPERS for undertaking the demolition of the existing structures within a period of 2 (two) years and thereafter the proposed construction in terms of the sanctioned Building Plan and the relevant specifications provided herein. The materials, if recovered from demolition of the existing building shall be taken away by the DEVELOPER.

- c) That the FIRST PARTY/OWNERS shall hold and possess the physical possession of the property mentioned in schedule below together with all the fittings affixed thereon and shall shift their residence elsewhere of their choice and handover vacant possession of the property mentioned in schedule below unto the developer until such time the FIRST PARTY/OWNERS are delivered their residential flats and the parking spaces in the proposed building to be constructed by the developers as described in the Owners Allocation, that are mentioned below.
- d) That the developers before accepting handover of vacant possession of the property mentioned in schedule below for the proposed construction shall provide unto the Owners a rented accommodation elsewhere at a maximum limit of monthly rent of about Rs. 12,000/- (Rupees twelve Thousand) only per month to be paid by 5th day of every month and such rent each month shall be payable only by the developers for at least 24 months or for the entire period of the Owner's stay in the said tenanted premises until and unless the property allocated to the above named owner are delivered in a completed position for possession by the developers. If due to

Abhishek Sharma

Dilip Kumar
Subrata Maji
Subasis Mishra
Manoj Kumar Bhowmik

unavoidable circumstances, the However, if the period of construction is delayed over and above the said period of 24 months then the parties will mutually settle for the same (Note the portion of schedule a mentioned below is being handed over to the second party in the month June 2022, first week hence the proportionate rent i.e. Rs.6,000/- will be started for the same) .

- e) The Developers thereafter shall commence construction of the proposed multi-storied R.C.C. brick built masonry building, consisting of commercial and semi-commercial spaces and parking spaces on the Ground Floor and Self Contained Residential Flats on the Upper Floors along with required necessary and basic common facilities and amenities that are mandatory and common for the said Residential Unit/Flats to be done and executed in best workmanship manner, as per specifications and structural designs mentioned and shown in the Building Plan sanctioned by the Asansol Municipal Corporation and shall further provide, use and utilize best makes and brands of building materials thereupon.
- f) That however, the quality, character, nature, brand or the standard of the materials to be used towards the construction for the multi-storied residential cum commercial Apartment/Building in and upon the scheduled mentioned property shall be decided exclusively by the SECOND PARTY/DEVELOPERS with or without the consultation of the FIRST PARTY/OWNERS and the decision of the SECOND PARTY/DEVELOPERS in the regard shall be final and binding.
- g) That the nature, character, quality, complexion or the decorative or ornamental sides of both interior or exterior or internal or external sides of the residential cum commercial Apartment/Building such as choice or brand of materials such as putty with primer, floor tiles or cut piece marbles water taps, flush or toilet and sanitary articles, electrical


Adm.

Dibakar Prasad
Subrata Maji
Subasini Mishra
Manoj Kumar

equipment shall be exclusively and solely decided by the SECOND PARTY/DEVELOPERS only.

- h) That the period of completion of the proposed project shall be 24 (twenty four) months from the date of sanction of the Building Plan, subject to terms mentioned in this agreement or for reasonable delays or that may be mutually decided in between the parties to this deed.
- i) Apart from owners allocation premises, the Developer can take loan for the rest part of the property, that would be only Home loan.
- j) That before the owners leaves the property, all payment clearance should be made of amount promised by the Developer.
- k) That the Developer shall provide the owner floor plan for the flat and shop room which is to be delivered under the owner's allocation.
- l) That the developer shall be responsible for all the mishaps related to the property, however, if any entitlement encumbrance is found that should bar by the owner only.
- m) Electric and generator cost shall be born by the Developer only.
- n) That after the project completion of the (G+5) Ground plus five storied Residential Cum Commercial building, the Developer shall hand over Deed, Khajna, R.S. Or, L.R. Parcha and tax receipts related to the property in original to the owner.
- o) OWNERS ALLOCATION:-
- i) That the FIRST PARTY/OWNERS shall be provided and get two 3 - BHK Residential Unit/Flats, each measuring a Covered Area of about 975 (Nine hundred Seventy five)



Manoj K V Burrows

square feet corresponding to a Super Built up Area of 1280 (One thousand Two Hundred Eighty) square feet approximately.

- ii) That the SECOND PARTY on their cost will execute registered sale deed of said two 3 BHK residential flat either in favour of FIRST PARTY or in the name of nominated person/persons by the FIRST PARTY.
- iii) That out of the aforesaid two residential flats, one of the said residential flat shall be situated on the North West corner of the THIRD FLOOR of the proposed multi-storied building to be named as may be decided by the SECOND PARTY/PROMOTOR to be erected on the lands mentioned in schedule hereunder written.
- iv) That the other residential flat to be provided shall also be situated on the South East corner on the FIRST FLOOR of the proposed multi-storied building as may be decided by the SECOND PARTY/PROMOTOR or preferred by the FIRST PARTY/OWNERS to be erected on the land mentioned in schedule hereunder written.
- v) The aforesaid two residential flats shall be provided by the developers with water connection, electric connection, ac points in all room of the flats, and shall further be provided with Plaster of Paris and Tiles floor.
- vi) That the FIRST PARTY/OWNERS shall further get Two Numbers of Four Wheeler Parking Space each measuring a Covered Area of 200 (two hundred) square feet out of them one will be at road side and another will be on the choice of the first party, of the Ground Floor of the proposed building at the.
- vii) That the SECOND PARTY on their cost will execute registered sale deed of said two numbers of four wheeler parking space either in favour of FIRST PARTY or in the name of nominated person/persons by the FIRST PARTY.



Dibakar Burnwal
Subrata Maji
Abhishek Mishra
Manoj KV Burnwal

viii) That the FIRST PARTY/OWNERS shall be absolutely entitled to enjoy and own, possess or retain, transfer, convey, sale, lease, mortgage, demise or to deal in any manner whatsoever, the residential Flats and the parking spaces so allocated in their favour in the proposed Building along with proportionate share of land, that falls under the Owners Allocation.

ix) That the DEVELOPERS, as has been mutually settled, besides the above mentioned "owners Allocation". Shall pay a total sum of Rs.8,10,000/-.(Rupees Eight Lakhs Ten Thousand) Only unto the FIRST PARTY/OWNERS as share of expected profits from the proposed project, which shall be payable by the DEVELOPER in the following manner:-

a. A sum of Rs.8,10,000/- through cheque only has been paid by the Developer unto the owners vide Bank Cheques bearing Cheque No604232, of Indian bank Ramkrishna Mission Branch, which was deposited and cleared in the saving account of first party, in the name of Manoj Kumar Burnwal.

p) DEVELOPERS ALLOCATION:-

a. That the SECOND PARTY/DEVELOPERS will get or be entitled to all the Built Up or Constructed Area, residential units/flats, parking spaces along with all the the units specified under Owners Allocation, described above.

b. That the SECOND PARTY/DEVELOPERS shall be absolutely entitled to enjoy and own, possess or retain, transfer, convey, sale, lease mortgage, demise or to deal in any



Diba Kundu
Subrata Maji
Sobesin Mishra
Manoj K. Barmal

manner whatsoever, the rest of the part and portions of the proposed Building along with proportionate share of land, that falls under the Developers Allocation.

q) OWNERS LIABILITIES -

(a) That during the stage of proposed construction being made upon the property mentioned in schedule below, if any litigation arises over the title and ownership or possession of the FIRST PARTY, the same shall be cleared and solved by the FIRST PARTY at their own initiatives and costs.

(b) That it be specifically mentioned that after execution and registration of this development agreement, the FIRST PARTY/OWNERS shall simultaneously execute and grant a Power of Attorney of which shall be registered in the office of the Additional District Sub Registrar at Asansol in favour of the SECOND PARTY/DEVELOPER, giving unto the said DEVELOPERS all-purpose powers for successful completion of the proposed building, including power to represent the OWNERS in all matters connected therewith before all authorities concerned and including powers to enter into Sale Agreements with its intending Purchaser/s as also powers to sale and transfer all the residential units, parking spaces, excepting the units specified under Owners Allocation and execute and get registered Deeds of Sale on behalf of the FIRST PARTY/ OWNERS in respect of the units falling under the DEVELOPERS ALLOCATION.

(c) That during the continuance of this agreement, the FIRST PARTY/ OWNERS shall keep his Title Deeds along With related documents In safe custody and shall not create any

Manoj K. Barmal

Dibakar Dutta
Subrata Maji
Sebasina Misra
Manoj KV Bhowal

manner of encumbrances upon the property in schedule below and therefore shall not be entitled to keep the said deed or documents as collateral security thereof with any financial institution in any manner whatsoever and shall further be liable to produce the same, in originals, for inspection of the same by the SECOND PARTY/ DEVELOPERS or their assignee for all or any official purposes.

- (d) That the above named SECOND PARTY/DEVELOPERS shall pay up to date clear khajna/revenue and municipal tax receipt
- (e) It shall be the responsibility and liability of the FIRST PARTY/OWNERS to deliver in originals the title/ownership papers, link or previous deeds, along with other documents in respect of the property in schedule, unto the SECOND PARTY/ DEVELOPERS whenever the need for the same so arises and after completion of the entire construction/project the said title/ ownership deeds and documents will be handed over to the authority of the Association/ Society of the Building/Apartment for future reference.
- (f) That in the event of stoppage of the proposed construction work of the proposed building, except for the reasons of the defect in title or ownership of the owner or local litigation concerning the property or in the event of non availability of building materials or labours or engineers or due to any natural calamity, if, the above named SECOND PARTY/DEVELOPERS fail to complete the construction of the proposed



Dibakar Kumar
Subrata Maji
Sobhis Misra
Manoj Kumar Bhowmik

building/apartment within the period mentioned above then the said period shall be reasonably extended.

r) DEVELOPERS LIABILITIES :-

- a. That the SECOND PARTY/DEVELOPERS on entering this agreement accepts its responsibility for successful and timely completion by it of the multi stoned structure in best workmanship manner in accordance to terms and specifications provided in the sanctioned Building Plan.
- b. That therefore, any negligence and disregard of such responsibilities, subject to reasonable and accidental causes, shall be Its accountability.

s) GENERAL TERMS:-

- (a) That the selling rate per square feet in favour of the intending purchaser/s, in respect of the proposed Residential Units/Shop Rooms/Flats, Parking Space including any other spaces, falling under the Developer's Allocation shall be decided and settled by the SECOND PARTY only as per the prevalent market rates or as they may consider fit and proper.
- (b) That the rights upon the last roof space or terrace of the proposed Multistoried Building shall belong to the Owners and all other occupants of the built up portions of the building and the Developers.
- (c) That the First Party shall always remain bound to sign and execute ail papers and documents found to be necessary or for any other purpose by the Second



Dilba Kne Puder
Subrata Maji
Kabisin Misra
Manoj K. Gaurav

Party/Developers in connection With any matter/matters, required to be done or whenever asked to do so in respect of matters covered by this agreement.

- (d) That the Second Party shall bear all the cost and expenditure towards the payment of private security agency for adequately securing the budding materials, things and goods lying upon the scheduled property and belonging to the Developers from commencement till the completion of the entire project.
- (e) That the cost and expenditure In respect of the building security and for regular maintenance of septic tanks, underground water reservoir, over-head tank, sewerage, drain pipe and water-pipes or other plumbing's shall be borne by the Second Party till the completion of the entire project and thereafter such recurring costs and expenditure shall be proportionately shared by all the owners, occupiers of the building or the Association/ Society of the building, whensoever formed, including the Owners and the Developers, if they occupy any portion of the building.
- (f) That all common space, passages, pathways, stair-case, underground water reservoir, overhead tank, shall be jointly used by the First Party and the Second Party or by the people lawfully occupying and possessing the residential cum commercial Apartment/Building in or upon the scheduled mentioned property.
- (g) That the SECOND PARTY/DEVELOPER shall be entitled to take and induct any partner to assist and finance the construction project in respect of the property mentioned in schedule below, for which the owners have no objection, however, the entire and



Dibakno Pntan
Subrata Maji
Lebasin Ansa
Manoj KJ Burmudal

responsibility of the constructions, including payment terms and other stipulations mentioned in this agreement shall be the sole liability of the above named SECOND PARTY/DEVELOPER only.

- (h) That the First Party shall render and extend all sorts of co-operation and assistance to the Second Party in the matter or in course of commencement, progress of the construction of residential building in and upon the scheduled mentioned property.
- (i) That the Second Party shall be entitled to raise or receive loan or advance money from any person/institution/banking or non-banking institution by mortgaging any part or whole of the scheduled property below free from any objection for the purpose of completion of the project.
- (j) That the FIRST PARTY/OWNERS without any reasonable cause shall not interfere with the construction work being executed by the SECOND PARTY/ DEVELOPERS.
- (k) That the SECOND PARTY/DEVELOPERS shall be entitled to enter into agreement/s for sale with their prospective purchaser/s in respect of any unit or Residential Flat and of the proposed Multi-Storied building (excepting that under owners allocation) and accept all the advance/earnest money towards the consideration price and shall give effectual discharge for the same unto Its intending purchaser/s.



Dibakwudon
Subrata Maji
Abhishek
Manoj KV Bunnwal

- (l) That the FIRST PARTY/OWNERS declare that they are the absolute owners of the scheduled property and the same is free from all manners of defects or encumbrances, subject to matters as hereinabove provided.
- (m) That this agreement shall remain in full force until or unless it is rescinded altered, modified or extended by the mutual deliberation of both the parties, however if any modification or addition or alteration is made the same shall be valid only when it is in written form and signed by both parties to this deed.
- (n) That each of the party to this deed shall be entitled to specific performanc') of act in accordance to the terms, conditions or stipulations made or that has been recorded in conformity to the recital made herein above and both of the parties shall be civilly liable, in terms of this agreement, within the jurisdiction of the Courts at Asansol, District Paschim Bardhaman, West Bengal.
- (o) That this deed constitutes legal, valid and binding obligations on the part of both the parties and their respective heirs, successors or survivors and it further constitutes the entire agreement between the parties named above and it revokes and cancels all previous discussions etc., between the parties, If any, concerning the matters contained herein, whether written, oral or implied No alteration, additions or modifications hereto shall be valid and binding, unless the same are reduced to writing signed by both the parties.



Dibakar Saha
Subrata Maji
Nobasis Misra
Manoj K. Gurnwal

SCHEDULE

(Deception of the Property)

In the District of Paschim Bardhaman, Post Asansol 713301, Sub Division and Additional District Sub Registry Office, Asansol, within MOIJA ASANSOL J. L. No. 35, Police Station Asansol (South), as follows:-

- a. **ALL THAT** piece and parcel of homestead land, **measuring area 03 Katha** situated upon portion of C. S. Plot No. 30 and comprised upon LOP (Lay Plot) No 108 of the R. R. Department of the Government of West Bengal corresponding to R. S. Plot No. 90 (Ninety) corresponding to L. R. Plot No. 149 under L. R. Khatian No. 5597 together with the 10 (Ten) years old pacca Shed residential unit standing thereon measuring an undivided Covered Area of 100 (Hundred) square feet, bearing part of Holding No. 31 (44), House No. 0180321, Mohishilla Colony, B/5, Asansol, within Old Ward No. 18 and new Ward No. 85 of Asansol Municipal Corporation, with all fittings, fixtures, a water well etc., along with all easements, rights, privileges etc.

Above said property butted and bounded by:

On the North: Property of Goutam Saha,

On the South: Property of Suren Jalan,

On the East: house of Shivapada Saha.

& on the West: 30 feet wide Road. of 1 No. Mohishilla Colony.

- b. **ALL THAT** piece and parcel of homestead land, **measuring area 03 Katha** situated upon portion of C. S. Plot No. 30 and comprised upon LOP (Lay Plot) No 111 of the R. R. Department of the Government of West Bengal corresponding to R. S. Plot No. 87 (Eighty

Manoj K. Gurnwal

Dilbaksho Baidya
Subrata Majhi
Sebasish Dasra
Manoj K Burchwal

Seven) corresponding to L. R. Plot No. 150 under L. R Khatian No. 4104, together with the 10 (Ten) years old pacca Shed residential unit standing thereon measuring an undivided Covered Area of 100 (Hundred) square feet, bearing part of Holding No. 30(49), House No. 0180320, Mohishilla Colony, B/5, Asansol, wrthin Old Ward No. 18 and new Ward No. 85 of Asansol Municipal Corporation, with all fittings, fixtures, a water well etc., along with all easements, rights, privileges etc.

Above said property Butted and bounded by:

On the North: Property of the vendor.

On the South: Property of Gouranga Saha.

On the East: House of Shivapada Saha.

On the West: 30 feet wide Road. *Ino. Mohishilla colony.*

Note: Two A 4 papers sheets containing finger impressions of both the hands along with the color photographs of both the parties is annexed with this deed.

[Handwritten signature]

IN WITNESS WHEREOF the parties sign and execute this agreement/understanding after fully understanding the contents thereof on this the ^{20th} day of May 2022, in presence of the following witnesses.

Witnesses:-

1. Navin Kr. Barnwal
S/o. Ramesh Pd. Barnwal
of Asansol Court
Dist Paschim Bardhaman
713304.

Manoj Kr Barnwal

Signature of the First party/owner.

2. Souvar Kr. hpta.
S/o. Lt. Shiv Kr. hpta.
of Budha Sukanto Pally
Road, Asansol - 713301
Paschim Bardhaman 713301

Dib - Kr. Patar
Subrata Maji
Debasis Misra

Signature of the Second party/Developer.

Drafted by me as per the instruction of the parties of this deed and red over the same in their vernacular.

Identified by me.

Navin Kr. Barnwal

Advocate, Asansol Court.
(Navin Kumar Barnwal)
En. No. WB 1500/2010.



Govt. of West Bengal
Directorate of Registration & Stamp Revenue
GRIPS eChallan

GRN Details

GRN:	192022230019805661	Payment Mode:	Online Payment
GRN Date:	05/05/2022 00:04:13	Bank/Gateway:	State Bank of India
BRN :	IK0BQZWUX0	BRN Date:	05/05/2022 00:05:32
Payment Status:	Successful	Payment Ref. No:	2001273774/4/2022

[Query No*/Query Year]

Depositor Details

Depositor's Name: NAVIN KUMAR BARNWAL
Address: ASANSOL COURT
Mobile: 9832732317
Email: navinbarnwal0341@gmail.com
Depositor Status: Advocate
Query No: 2001273774
Applicant's Name: Mr NAVIN KUMAR BARNWAL
Identification No: 2001273774/4/2022
Remarks: Sale, Development Agreement or Construction agreement

Payment Details

Sl. No.	Payment ID	Head of A/C Description	Head of A/C	Amount (₹)
1	2001273774/4/2022	Property Registration- Stamp duty	0030-02-103-003-02	6001
2	2001273774/4/2022	Property Registration- Registration Fees	0030-03-104-001-16	8107
Total				14108

IN WORDS: FOURTEEN THOUSAND ONE HUNDRED EIGHT ONLY.

gautam



Manoj K. Barmwal

		LITTLE FINGER	RING FINGER	MIDDLE FINGER	FORE FINGER	THUMB
<i>Manoj K Barmwal</i>	LEFT HAND					
	RIGHT HAND					

dibakar



Dibakar Puro

		LITTLE FINGER	RING FINGER	MIDDLE FINGER	FORE FINGER	THUMB
<i>Dibakar Puro</i>	LEFT HAND					
	RIGHT HAND					

Subrata



Subrata Maji

		LITTLE FINGER	RING FINGER	MIDDLE FINGER	FORE FINGER	THUMB
<i>Subrata Maji</i>	LEFT HAND					
	RIGHT HAND					

debasis



Debasis

		LITTLE FINGER	RING FINGER	MIDDLE FINGER	FORE FINGER	THUMB
<i>Debasis Mishra</i>	LEFT HAND					
	RIGHT HAND					

Major Information of the Deed

Deed No :	I-2305-04677/2022	Date of Registration	20/05/2022
Query No / Year	2305-2001273774/2022	Office where deed is registered	
Query Date	27/04/2022 5:56:17 PM	A.D.S.R. ASANSOL, District: Paschim Bardhaman	
Applicant Name, Address & Other Details	NAVIN KUMAR BARNWAL ASANSOL COURT,Thana : Asansol, District : Paschim Bardhaman, WEST BENGAL, PIN - 713304, Mobile No. : 9832732317, Status :Advocate		
Transaction	Additional Transaction		
[0110] Sale, Development Agreement or Construction agreement	[4311] Other than Immovable Property, Receipt [Rs : 8,10,000/-]		
Set Forth value	Market Value		
Rs. 8,10,000/-	Rs. 52,34,623/-		
Stampduty Paid(SD)	Registration Fee Paid		
Rs. 7,001/- (Article:48(g))	Rs. 8,107/- (Article:E, B)		
Remarks	Received Rs. 50/- (FIFTY only) from the applicant for issuing the assement slip.(Urban area)		

Land Details :



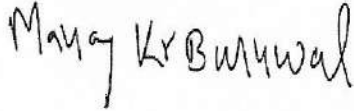
District: Paschim Bardhaman, P.S:- Asansol, Municipality: ASANSOL MC, Road: Mohisila Colony No 1, Road Zone : (Road Width (20-30) -- Road Width (20-30)) , Mouza: Asansol, JI No: 35, Pin Code : 713303

Sch No	Plot Number	Khatian Number	Land Proposed	Use ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L1	LR-150 (RS :-)	LR-4104	Bastu	Bastu	3 Katha	4,00,000/-	25,51,499/-	Width of Approach Road: 30 Ft., Adjacent to Metal Road,
L2	LR-149 (RS :-)	LR-5597	Bastu	Bastu	3 Katha	4,00,000/-	25,51,499/-	Width of Approach Road: 30 Ft., Adjacent to Metal Road,
		TOTAL :			9.9Dec	8,00,000 /-	51,02,998 /-	
	Grand Total :				9.9Dec	8,00,000 /-	51,02,998 /-	

Structure Details :

Sch No	Structure Details	Area of Structure	Setforth Value (In Rs.)	Market value (In Rs.)	Other Details
S1	On Land L1, L2	200 Sq Ft.	10,000/-	1,31,625/-	Structure Type: Structure
Gr. Floor, Area of floor :200 Sq Ft.,Residential Use, Cemented Floor, Age of Structure: 10 Years, Roof Type: Pucca, Extent of Completion: Complete					
	Total :	200 sq ft	10,000 /-	1,31,625 /-	

Land Lord Details :

Sl No	Name,Address,Photo,Finger print and Signature			
1	Name	Photo	Finger Print	Signature
	Mr MANOJ KUMAR BURNWAL (Presentant) Son of Mr HARI NARAYAN BURNWAL Executed by: Self, Date of Execution: 20/05/2022 , Admitted by: Self, Date of Admission: 20/05/2022 ,Place : Office			
		20/05/2022	LTI 20/05/2022	20/05/2022
City:- Asansol, P.O:- ASANSOL, P.S:-Asansol, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713301 Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, PAN No.:: ADxxxxxx6C, Aadhaar No: 56xxxxxxxx4646, Status :Individual, Executed by: Self, Date of Execution: 20/05/2022 , Admitted by: Self, Date of Admission: 20/05/2022 ,Place : Office				



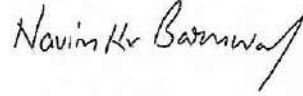
Developer Details :

Sl No	Name,Address,Photo,Finger print and Signature
1	SHREE SUMUKHA DEVELOPERS HOLDING NO. 207 (N), SUIDIHI VILLAGE,, City:- Asansol, P.O:- ETHORA, P.S:-Kulti, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713359 , PAN No.:: AExxxxxx5D,Aadhaar No Not Provided by UIDAI, Status :Organization, Status : Not Executed

Representative Details :

Sl No	Name,Address,Photo,Finger print and Signature
1	Mr DIBAKAR PATAR Son of Mr UMAPADA PATARDAKHIN PARA, SUIDHI, City:- Asansol, P.O:- ETHORA, P.S:-Kulti, District:-Paschim Bardhaman, West Bengal, India, PIN:- 711359, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:: BMxxxxxx5J, Aadhaar No: 75xxxxxxxx2362 Status : Representative, Representative of : SHREE SUMUKHA DEVELOPERS (as PARTNER)
2	Mr SUBRTA MAJI Son of Mr SANTOSH MAJI H-079, RADHARANI BHAWAN, NEW COLONY GOBINDAPUR,, City:- Asansol, P.O:- KANYAPUR, P.S:-Asansol, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713341, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:: ALxxxxxx9A, Aadhaar No: 75xxxxxxxx4160 Status : Representative, Representative of : SHREE SUMUKHA DEVELOPERS (as PARTNER)
3	Mr DEBASIS MISRA Son of Mr DULAL CHANDRA MISRA PANCHGACHIA, GANDHI NAGAR, KANYAPUR,, City:- Asansol, P.O:- KANYAPUR, P.S:-Asansol, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713341, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:: AMxxxxxx4N, Aadhaar No: 45xxxxxxxx3942 Status : Representative, Representative of : SHREE SUMUKHA DEVELOPERS (as PARTNER)

Identifier Details :

Name	Photo	Finger Print	Signature
Mr NAVIN KR BARNWAL Son of Mr RAMESH PD BURNWAL ASANSOL COURT, City:- Asansol, P.O:- ASANSOL, P.S:-Asansol, District:- Paschim Bardhaman, West Bengal, India, PIN:- 713304			
	20/05/2022	20/05/2022	20/05/2022
Identifier Of Mr MANOJ KUMAR BURNWAL			

Transfer of property for L1

SI.No	From	To. with area (Name-Area)
1	Mr MANOJ KUMAR BURNWAL	SHREE SUMUKHA DEVELOPERS-4.95 Dec

Transfer of property for L2

SI.No	From	To. with area (Name-Area)
1	Mr MANOJ KUMAR BURNWAL	SHREE SUMUKHA DEVELOPERS-4.95 Dec

Transfer of property for S1

SI.No	From	To. with area (Name-Area)
1	Mr MANOJ KUMAR BURNWAL	SHREE SUMUKHA DEVELOPERS-200.00000000 Sq Ft

Land Details as per Land Record

District: Paschim Bardhaman, P.S:- Asansol, Municipality: ASANSOL MC, Road: Mohisila Colony No 1, Road Zone : (Road Width (20-30) -- Road Width (20-30)), Mouza: Asansol, JI No: 35, Pin Code : 713303

Sch No	Plot & Khatian Number	Details Of Land	Owner name in English as selected by Applicant
L1	LR Plot No:- 150, LR Khatian No:- 4104	Owner:উত্তম পল কুমার সাহা, Gurdian:গৌর চন্দ্র সাহা, Address:নিজ , Classification:বাস্তু, Area:0.10000000 Acre,	Mr MANOJ KUMAR BURNWAL
L2	LR Plot No:- 149, LR Khatian No:- 5597	Owner:উত্তম সাহা, Gurdian:ঁ গৌরাঙ্গচন্দ্র সাহা, Address:1 নং মহীশিলা কলনী সাহাপাড়া আসানসোল-713303, Classification:বাস্তু, Area:0.05000000 Acre,	Mr MANOJ KUMAR BURNWAL

Endorsement For Deed Number : I - 230504677 / 2022

On 20-05-2022

Certificate of Admissibility(Rule 43,W.B. Registration Rules 1962)

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number : 48 (g) of Indian Stamp Act 1899.

Presentation(Under Section 52 & Rule 22A(3) 46(1),W.B. Registration Rules,1962)

Presented for registration at 15:11 hrs on 20-05-2022, at the Office of the A.D.S.R. ASANSOL by Mr MANOJ KUMAR BURNWAL ,Executant.

Certificate of Market Value(WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs 52,34,623/-

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962)

Execution is admitted on 20/05/2022 by Mr MANOJ KUMAR BURNWAL, Son of Mr HARI NARAYAN BURNWAL, P.O: ASANSOL, Thana: Asansol, , City/Town: ASANSOL, Paschim Bardhaman, WEST BENGAL, India, PIN - 713301, by caste Hindu, by Profession Business

Indetified by Mr NAVIN KR BARNWAL, , , Son of Mr RAMESH PD BURNWAL, ASANSOL COURT, P.O: ASANSOL, Thana: Asansol, , City/Town: ASANSOL, Paschim Bardhaman, WEST BENGAL, India, PIN - 713304, by caste Hindu, by profession Advocate

Payment of Fees

Certified that required Registration Fees payable for this document is Rs 8,107/- (B = Rs 8,100/- ,E = Rs 7/-) and Registration Fees paid by Cash Rs 0/-, by online = Rs 8,107/-

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 05/05/2022 12:05AM with Govt. Ref. No: 192022230019805661 on 05-05-2022, Amount Rs: 8,107/-, Bank: State Bank of India (SBIN0000001), Ref. No. IK0BQZWUX0 on 05-05-2022, Head of Account 0030-03-104-001-16

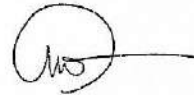
Payment of Stamp Duty

Certified that required Stamp Duty payable for this document is Rs. 7,001/- and Stamp Duty paid by Stamp Rs 1,000/-, by online = Rs 6,001/-

Description of Stamp

1. Stamp: Type: Impressed, Serial no 1022, Amount: Rs.1,000/-, Date of Purchase: 04/05/2022, Vendor name: P K Panja

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 05/05/2022 12:05AM with Govt. Ref. No: 192022230019805661 on 05-05-2022, Amount Rs: 6,001/-, Bank: State Bank of India (SBIN0000001), Ref. No. IK0BQZWUX0 on 05-05-2022, Head of Account 0030-02-103-003-02



Manoj Kumar Mandal
ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. ASANSOL
Paschim Bardhaman, West Bengal

Certificate of Registration under section 60 and Rule 69.

Registered in Book - I

Volume number 2305-2022, Page from 109130 to 109158

being No 230504677 for the year 2022.



Digitally signed by Manoj Kumar Mandal
Date: 2022.05.24 15:50:17 +05:30
Reason: Digital Signing of Deed.

(Manoj Kumar Mandal) 2022/05/24 03:50:17 PM
ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. ASANSOL
West Bengal.

(This document is digitally signed.)